

KLD

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
 Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
 One Hamilton County Square
 Noblesville, Indiana 46060-2230

October 20, 2020

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Bluffs at Flat Fork, Sec. 2 Arm

Attached is a petition filed by North Connecticut Development Corporation (Republic Development), along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Bluffs at Flat Fork, Sec. 2 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W150063-2, the drain will consist of the following:

12" RCP	431 ft.
15" RCP	464 ft.
6" SSD	3,383 ft.
Open Ditch	315 ft.

The total length of the drain will be 4,593 feet.

The open ditch listed above are the straight line lengths through the pond between Str. 408 and the Ext. Str.355 and Str. 412 and Ext. Str. 355.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The sub-surface drains within the street right-of-way are being included due to the streets within the subdivision being under the jurisdiction of the Hamilton County Highway. As such there will not be street trees within the right-of-way but will be behind the sidewalk on the individual lots per Hamilton County Highway Department requirements. This complies with the Hamilton County Drainage Board's discussion of July 19, 2018 regarding street trees. (See Hamilton County Drainage Board Minutes Book 18, pages 204 to 206).

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 2 will be \$2,212.80.

Section 2 contains Pond #7 in Common Area "C", which was previously included in my report for The Bluffs at Flat Fork, Sec. 1, dated January 31, 2017, which was approved by the Board on March 27, 2017. (Drainage Board Minutes Book 17, Pages 307-309). The open drain length for pond #7 was also included in my report for Sec. 1. This length was between the current inlet into the pond marked as "Ex 18" RCP" on sheet 301 of the plans and the current outlet of the pond marked as "Ex 21" RCP. The detention pond (pond #7 located in Common Area "C") is to be considered part of the regulated drain. This is consistent with the ponds in other Vermillion sections. The maintenance of the pond shall include the inlets and outlet as part of the regulated drain. The maintenance of the pond such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: August 24, 2020
Number: 1399BFF2
For: Storm Sewers
Amount: \$115,173.60
HCDB-2020-00016

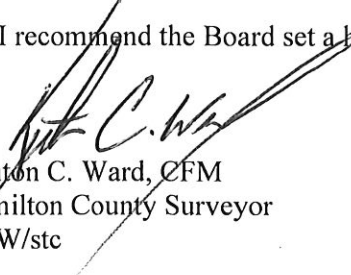
Agent: Standard Financial Corporation
Date: August 24, 2020
Number: 1400BFF2
For: Erosion Control
Amount: \$36,500.47
HCDB-2020-00017

Agent: Standard Financial Corporation
Date: August 24, 2020
Number: 1401BFF2
For: Monumentation
Amount: \$11,021.41
HCDB-2020-00018

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Bluff at Flat Fork, Sec. 2 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 23, 2020.



Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/stc

(Revised 06/08/04)

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

OCT 08 2018

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Bluffs @ Flat Fork Subdivision, Section
 Two Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Bluffs @ Flat Fork - Section 2 , a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Fillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEV. CORP

Douglas B. Wagner
Signed _____

DOUGLAS B. WAGNER
Printed Name *SR. V.P.*

SEPT. 13, 2018
Date _____

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Adobe PDF Ffillable Form

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Bluffs at Flat Fork Section 2 Arm

On this **23rd day of November, 2020**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Vermillion Drain, The Bluffs at Flat Fork Section 2 Arm**.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary

FILED

JUN 30 2020

OFFICE OF HAMILTON COUNTY SURVEYOR



ENGINEER'S ESTIMATE OF PROBABLE COST

Project: The Bluffs at Vermillion Section 2
W150063-2

Date: 6/30/2020

STORM SEWERS

	Quantity	Unit Price	Gross Price
Structures			
Manhole	1	\$ 2,417.00	\$ 2,417.00
Large Curb Inlet	0	\$ 2,585.00	\$ -
Double Curb Inlet	4	\$ 4,200.00	\$ 16,800.00
Small Curb Inlet	4	\$ 2,200.00	\$ 8,800.00
Large Beehive	0	\$ 2,467.00	\$ -
Small Beehive	1	\$ 1,490.00	\$ 1,490.00
Concrete Cradle	0	\$ 450.00	\$ -
12" End Section	2	\$ 1,650.00	\$ 3,300.00
Tons of stone bedding (#8)	97	\$ 21.25	\$ 2,061.25
Tons of granular backfill (sand)	108	\$ 15.00	\$ 1,620.00
Tons of Rip Rap	11	\$ 45.00	\$ 495.00
Lot connections (4" underdrain)	27	\$ 140.00	\$ 3,780.00
Linear feet of underdrain (6")	3,341	\$ 9.75	\$ 32,574.75

Qty	Measurement	Size	Material	Unit Price	Gross Price
402	Linear feet of	12"	RCP	\$ 24.00	\$ 9,648.00
464	Linear feet of	15"	RCP	\$ 28.00	\$ 12,992.00
0	Linear feet of	18"	RCP	\$ 30.00	\$ -
0	Linear feet of	21"	RCP	\$ 36.00	\$ -
0	Linear feet of	24"	RCP	\$ 50.00	\$ -
STORM SEWER TOTAL:					\$ 95,978.00

EROSION CONTROL

	Quantity	Unit Price	Gross Price
Seeding			
Acres of temp. seed	10.2	\$ 325.00	\$ 3,315.00
Acres of mulching temp seed	10.2	\$ 775.00	\$ 7,905.00
Square yards of permanent seed and straw mulch	13,901	\$ 0.42	\$ 5,838.42
Square yards of erosion control blanket w/ permanent seed)	2,714	\$ 1.05	\$ 2,849.70
Square yards roadside seeding	4,191	\$ 0.34	\$ 1,424.94
Other			
Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
Linear feet of silt fencing	3,940	\$ 1.00	\$ 3,940.00
Concrete Washout	1	\$ 500.00	\$ 500.00
Curb Inlet Protection	8	\$ 168.00	\$ 1,344.00
Drop Inlet Protection	0	\$ 90.00	\$ -
EROSION CONTROL TOTAL			\$ 30,417.06

MONUMENTATION

	Quantity	Unit Price	Gross Price
Misc.			
Monuments	7	\$ 168.83	\$ 1,181.81
Lot Rebar	79	\$ 101.30	\$ 8,002.70
MONUMENTATION TOTAL			\$ 9,184.51

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 95,978.00	\$ 115,173.60	\$ 23,034.72
Erosion Control	\$ 30,417.06	\$ 36,500.47	\$ 7,300.09
Monumentation	\$ 9,184.51	\$ 11,021.41	\$ 2,204.28
	\$ 135,579.57	\$ 162,695.48	\$ 32,539.10

COMMENTS:

Bond Estimate Prepared by:

Signature: Jim Pence Digitally signed by Jim Pence

Printed Name: Jim Pence

Title: Project Manager

Date: 30-Jun-20



FILED

HCDB-2020-0008 AUG 24 2020
August 24, 2020

OFFICE OF HAMILTON COUNTY SURVEYOR

Irrevocable Letter of Credit No.: 1401BFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Eleven Thousand Twenty-One and 41/100 Dollars (\$11,021.41)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of **monumentation in Bluffs at Flat Fork, Section 2.**

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1401BFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of August 24, 2020 and shall expire on August 24, 2021, but such expiration date shall be automatically extended for a period of one year on August 24, 2021, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD, Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the



Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

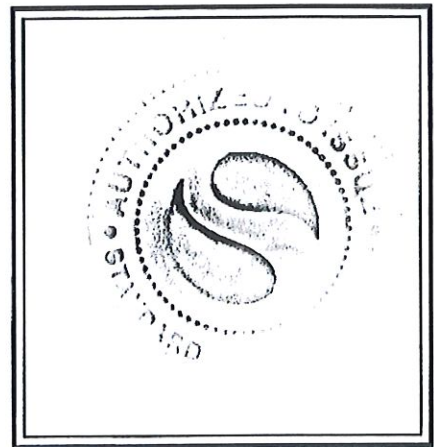
STANDARD FINANCIAL CORPORATION

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



FILED

HCDB-2020-00017

August 24, 2020

AUG 24 2020

OFFICE OF HAMILTON COUNTY SURVEYOR

Irrevocable Letter of Credit No.: 1400BFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Thirty-Six Thousand Five Hundred and 47/100 Dollars (\$36,500.47)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in Bluffs at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1400BFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of August 24, 2020 and shall expire on August 24, 2021, but such expiration date shall be automatically extended for a period of one year on August 24, 2021, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD, Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the



Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

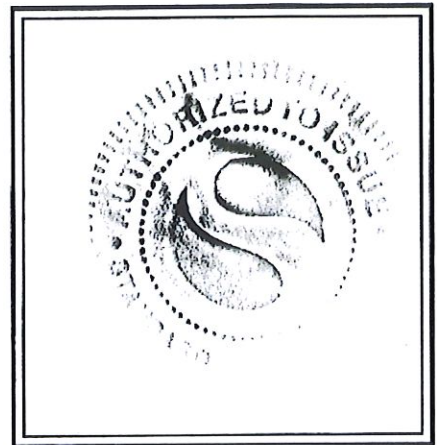
STANDARD FINANCIAL CORPORATION

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



FILED

AUG 24 2020

August 24, 2020

OFFICE OF HAMILTON COUNTY SURVEYOR

WCDB-2020-00016

Irrevocable Letter of Credit No.: 1399BFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **One Hundred Fifteen Thousand One Hundred Seventy-Three and 60/100 Dollars (\$115,173.60)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in Bluffs at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1399BFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of August 24, 2020 and shall expire on August 24, 2021, but such expiration date shall be automatically extended for a period of one year on August 24, 2021, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD, Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the



Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

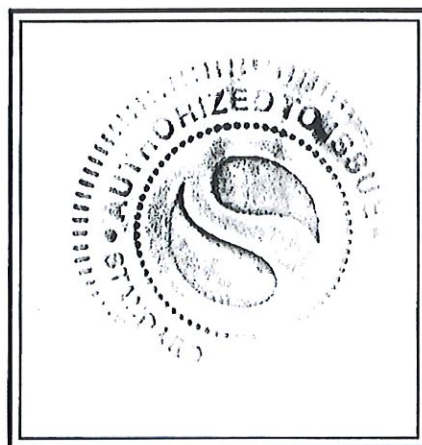
STANDARD FINANCIAL CORPORATION

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Vermillion Drain,
The Bluffs at Flat Fork Section 2 Arm***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Bluffs at Flat Fork Section 2 Arm** on **November 23, 2020** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

**Vermillion Drain,
The Bluffs at Flat Fork Section 2 Arm**

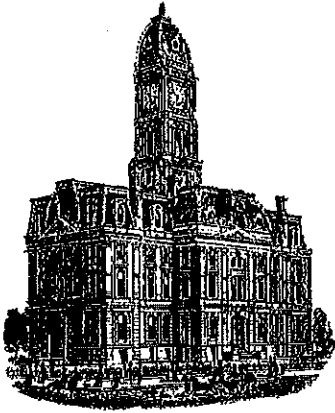
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 23, 2020** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 13, 2021

Re: Vermillion Drain, The Bluffs at Flat Fork Sec. 2

Attached are as-built, certificate of completion & compliance, and other information for Bluffs at Flat Fork Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

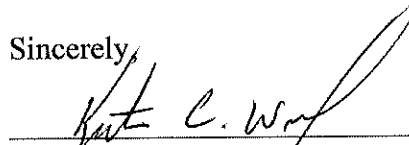
During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated October 20, 2020. The report was approved by the Board at the hearing held November 23, 2020. (See Drainage Board Minutes Book 19, Pages 399-401) The changes are as follows: the 12" RCP was lengthened from 431 feet to 437 feet. The 15" RCP was shortened from 464 feet to 462 feet. The 6" SSD was shortened from 3,383 feet to 3,315 feet. The open ditch was shortened from 315 feet to 309 feet. The length of the drain due to the changes described above is now **4,523 feet**.

The non-enforcement was approved by the Board at its meeting on November 23, 2021 and recorded under instrument #2021012679. The following sureties were guaranteed by Standard Financial Corp and released by the Board on its October 11, 2021 meeting.

Bond-LC No: 1399BFF2
Amount: \$115,173.60
For: Storm Sewers & SSD
Issue Date: August 24, 2020

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CEM
Hamilton County Surveyor

FILED

SEP 15 2021

OFFICE OF HAMILTON COUNTY SURVEYOR

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: The Bluffs at Flat Fork Section 2

I hereby certify that:

1. I am a registered Professional Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: 9/13/2021

Printed Name: Duane A. Sharrer

Business Address: Weihe Engineers, Inc.

10505 N College Ave.

Indianapolis, IN 46280

Telephone Number: 317.846.6611

Indiana Registration Number: 890258

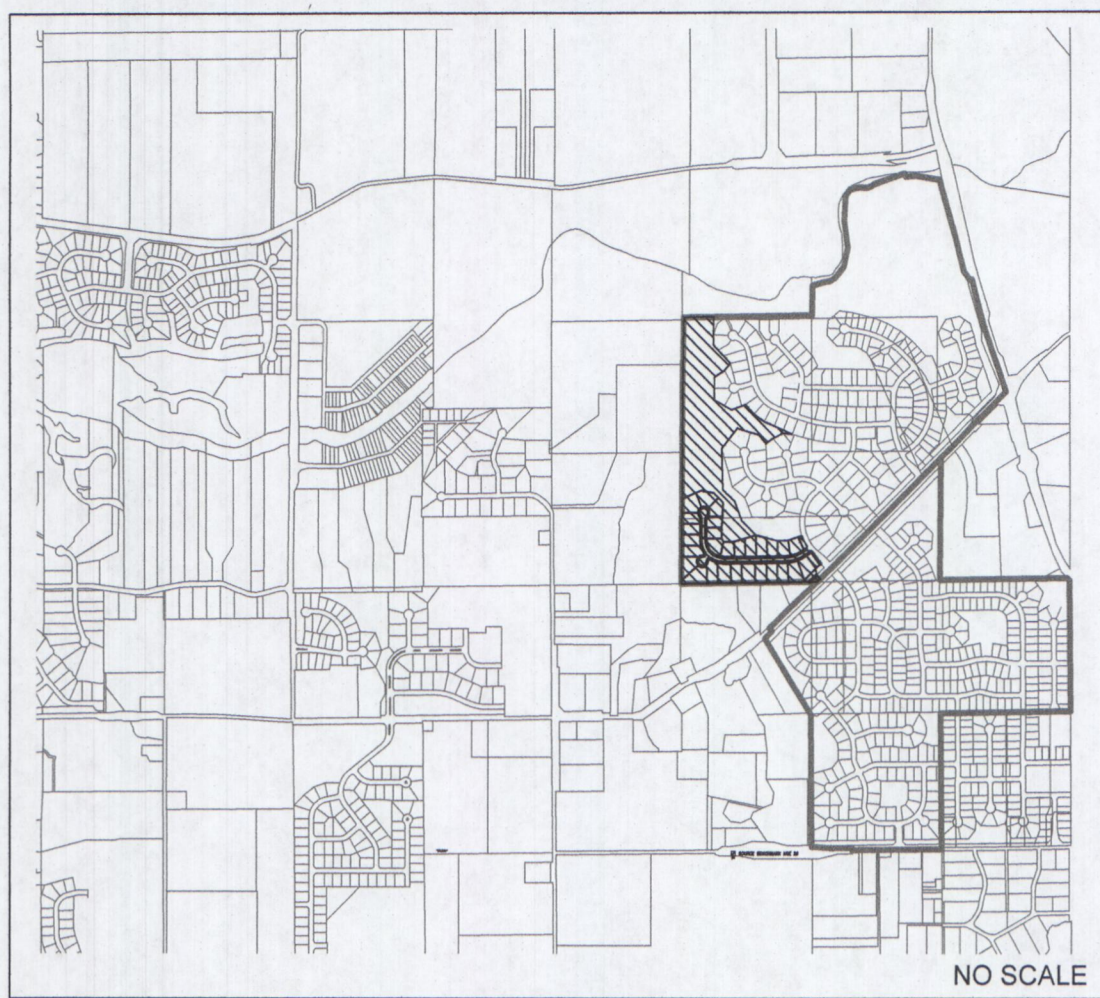


RECORD DRAWINGS

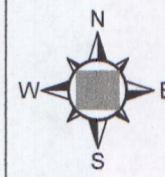
THE BLUFFS AT FLAT FORK

SECTION TWO

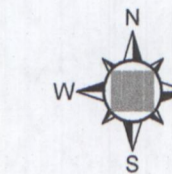
FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



SITE MAP



F.E.M.A. F.I.R.M.



GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C02526G AND 18057C02786G, NOVEMBER 19, 2014.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE, FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER TOWN OF FORTVILLE UTILITY STREET STANDARDS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS, SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)

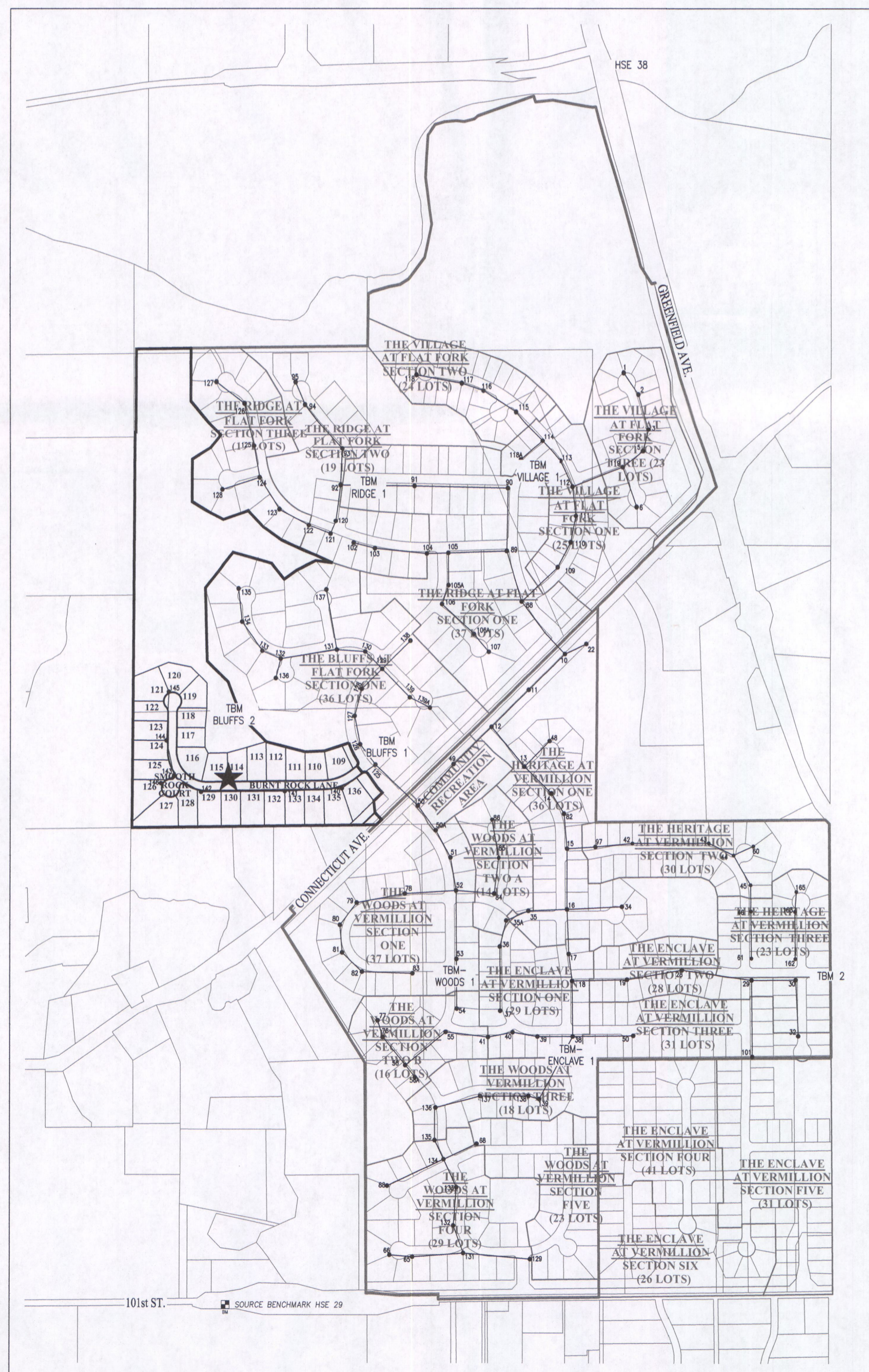
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HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST STREET, 1800'+/- EAST OF CYNTHIANE ROAD, 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462.37
E=269743.89
ELEV.=855.00 (NAVD 88)

TBM - BLUFFS 1
MAG NAIL SET IN THE WALK AT THE NORTHWEST CORNER OF FLAT FORK DRIVE AND BURNT ROCK LANE, APPROXIMATELY 54' +/- NORTH OF THE CENTERLINE OF BURNT ROCK LANE AND 24' +/- WEST OF THE CENTERLINE OF FLAT FORK DRIVE IN THE VILLAGE AT VERMILION - SECTION ONE
N=1710518.66
E=270484.17
EL=857.32 (NAVD 88)

TBM - BLUFFS 2
MAG NAIL SET IN THE CAP OF A CONCRETE CONTROL STRUCTURE FOR THE RETENTION POND LOCATED ON THE SOUTH END OF COMMON AREA "C" OF THE BLUFFS AT FLAT FORK SECTION TWO, 188 FEET NORTH AND 737 FEET WEST OF THE CENTERLINE INTERSECTION OF FLAT FORK DRIVE AND BURNT ROCK LANE.
N=1710677.887
E=269797.252
EL=850.14 (NAVD 88)

TBM - RIDGE 1
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILION - SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)

LATITUDE: 39°56'39" N, LONGITUDE: 85°52'23" W



AREA LOCATION MAP

SHEET INDEX	
SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300-C301	DEVELOPMENT PLAN
C302	PONDING LIMITS/FLOOD ROUTING PLAN
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAIL
C402-405	STREET DETAILS & SPECIFICATIONS
C406	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C500-C501	SANITARY SEWER PLAN & PROFILE
C502-C504	SANITARY SEWER DETAILS & SPECIFICATIONS
C600-C601	STORM SEWER PLAN & PROFILE
C602-C603	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100	LANDSCAPE PLAN BY BMW

STREET DATA

STREET LENGTHS:

BURNT ROCK LANE	1478.23 L.F. ±
SMOOTH ROCK COURT	95.77 L.F. ±
TOTAL	1574.00 L.F. ±

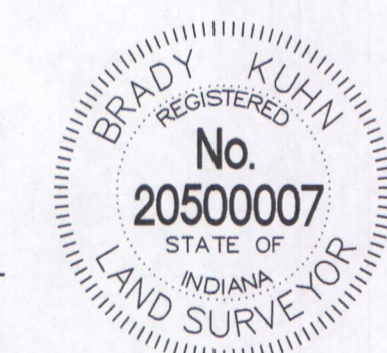
NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

SITE AREA:

SITE	38.16 AC. ±
LOTS	28

RECORD DRAWING
1/28/2021

BRADY KUHN, L.S. 20500007



PLANS PREPARED FOR

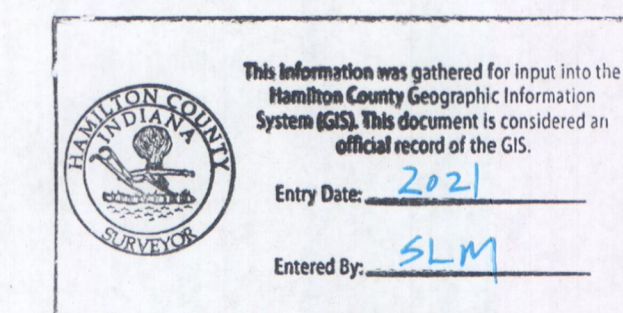


NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131ST STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: (317) 770-1818
CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: JIM PENCE
EMAIL: pencej@weihe.net

NOTE:
THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.



FILED
SEP 15 2021
OFFICE OF HAMILTON COUNTY SURVEYOR

OPERATING AUTHORITIES:

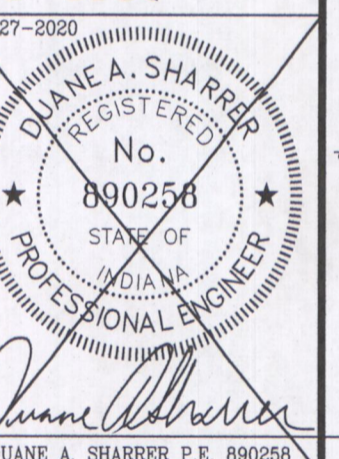
FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3126 ATTN: MEGAN SCHAEFER	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/ HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-571-1150 ATTN: THOMAS KALLIO	NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLISINKI	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-377-5230 ATTN: DICK MOSIER
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-323-2087 ATTN: JOHN SPLATTER	EMBARQ/ CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4883 ATTN: DAVID MEYERS	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH
CENTERPOINT ENERGY 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: CHAD MILLER	COMCAST 5330 E. 65TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 846 - 6611
800 452 - 6408
317 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying / Civil Engineering
Landscape Architecture

PROJECT NO.:	W150063-2
DWG. NAME:	
DESIGNED BY:	JKP
DRAWN BY:	JKP
CHECKED BY:	JKP
DATE:	02/27/2020

REVISIONS AND ISSUES:
1. REVISION PER HSE & TAC COMMENTS
2. REVISION PER HSE & TAC COMMENTS
3. REVISION PER HSE & TAC COMMENTS



DUANE A. SHARBER P.E. 890256

PREPARED FOR:
THE BLUFFS AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
TITLE SHEET
SHEET NO. **C001**
PROJECT NO. **W150063-2**

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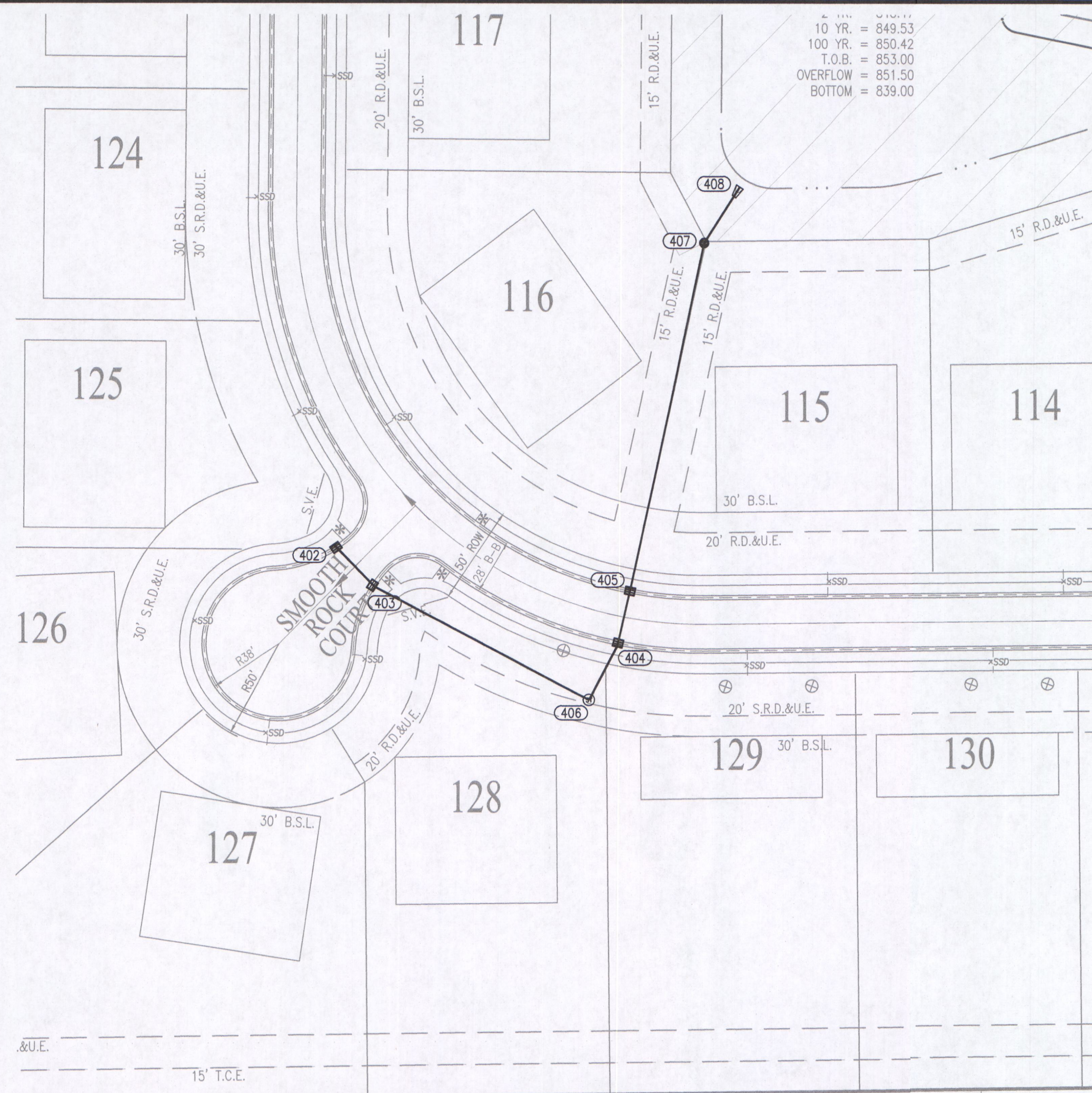
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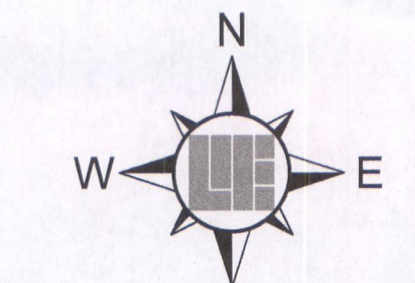
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STORM SEWER NOTES

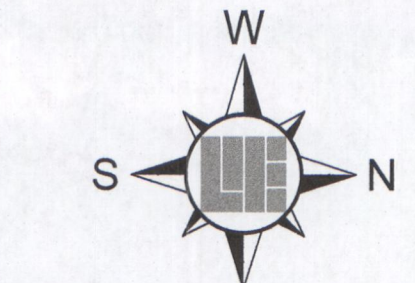
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- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
- CONTRACTOR TO INSTALL CONCRETE GRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE C900 WATER MAIN GRADE PVC.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H2O LOADING.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT TO INVERT OUT.
- NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
- IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
- ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL, IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
- PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #8 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
- VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.



10 YR = 849.53
 100 YR = 850.42
 T.O.B. = 853.00
 OVERFLOW = 851.50
 BOTTOM = 839.00



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 1/28/2021



811
 Know what's below.
 Call before you dig.
 Within Indiana Call
 811 or 800-382-5544
 24 Hours a Day, 7 Days a Week

PER INDIANA STATE LAW IC 8-1-26
 IT IS AGAINST THE LAW TO DIGGATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

BRADY KUHN, L.S. 20500007
 - ASBUILT INFORMATION
 - BUILT AS PLANNED
 DATE OF LAST FIELDWORK: 1/20/2021

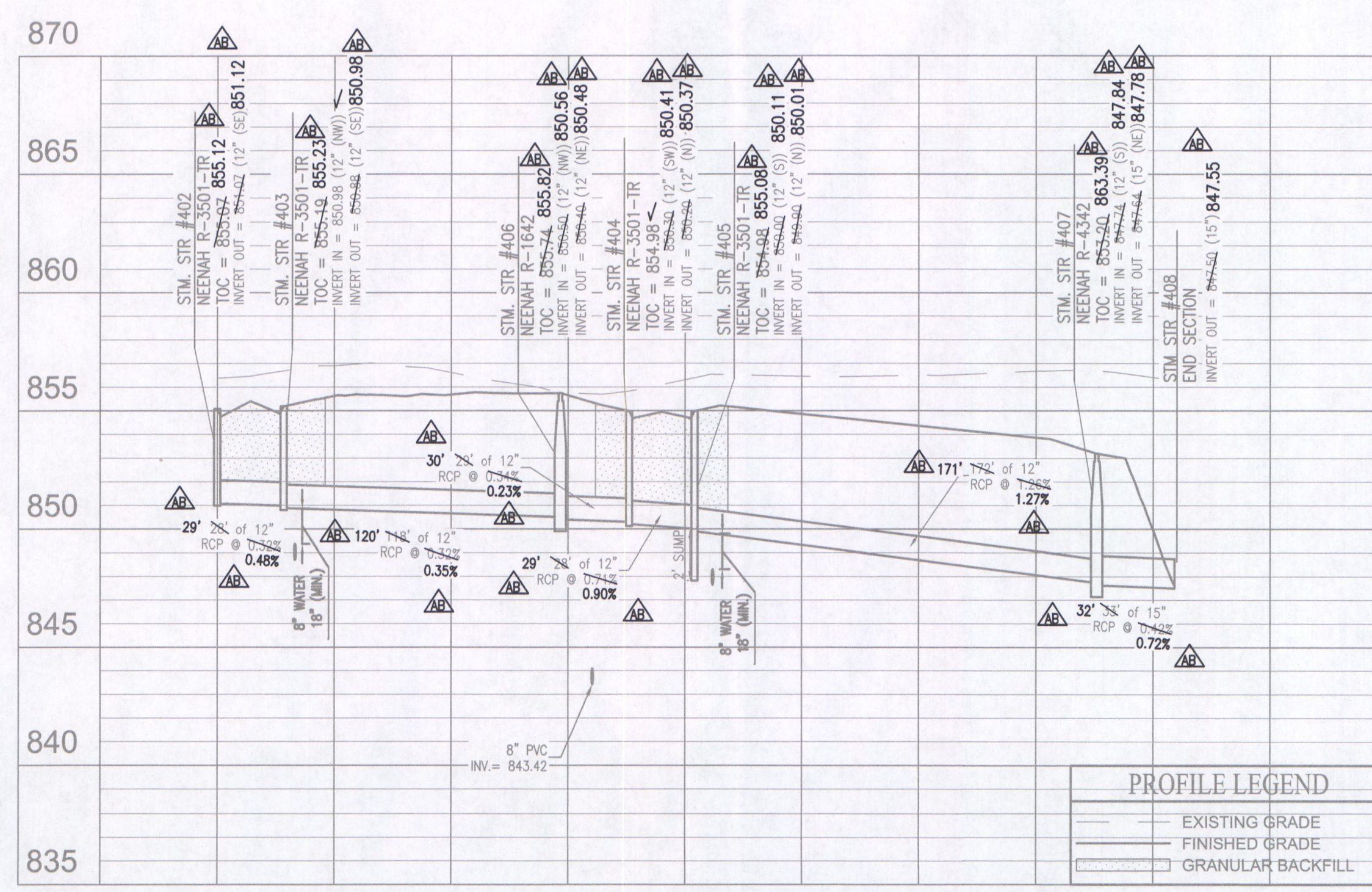
LEGEND

- RIGHT-OF-WAY LINE
- PROPOSED STORM SEWER LINE
- EXISTING STORM SEWER LINE
- SWALE
- SSD
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL
- PROPOSED WATER LINE
- EXISTING WATER LINE
- FLOW DIRECTION
- PROPOSED ELEVATION
- STORM BEHIVE INLET
- STORM INLET
- TOP OF CASTING
- INV.
- RCP
- M.H.
- STR.
- D.&U.E.
- D.U.&S.E.
- ME

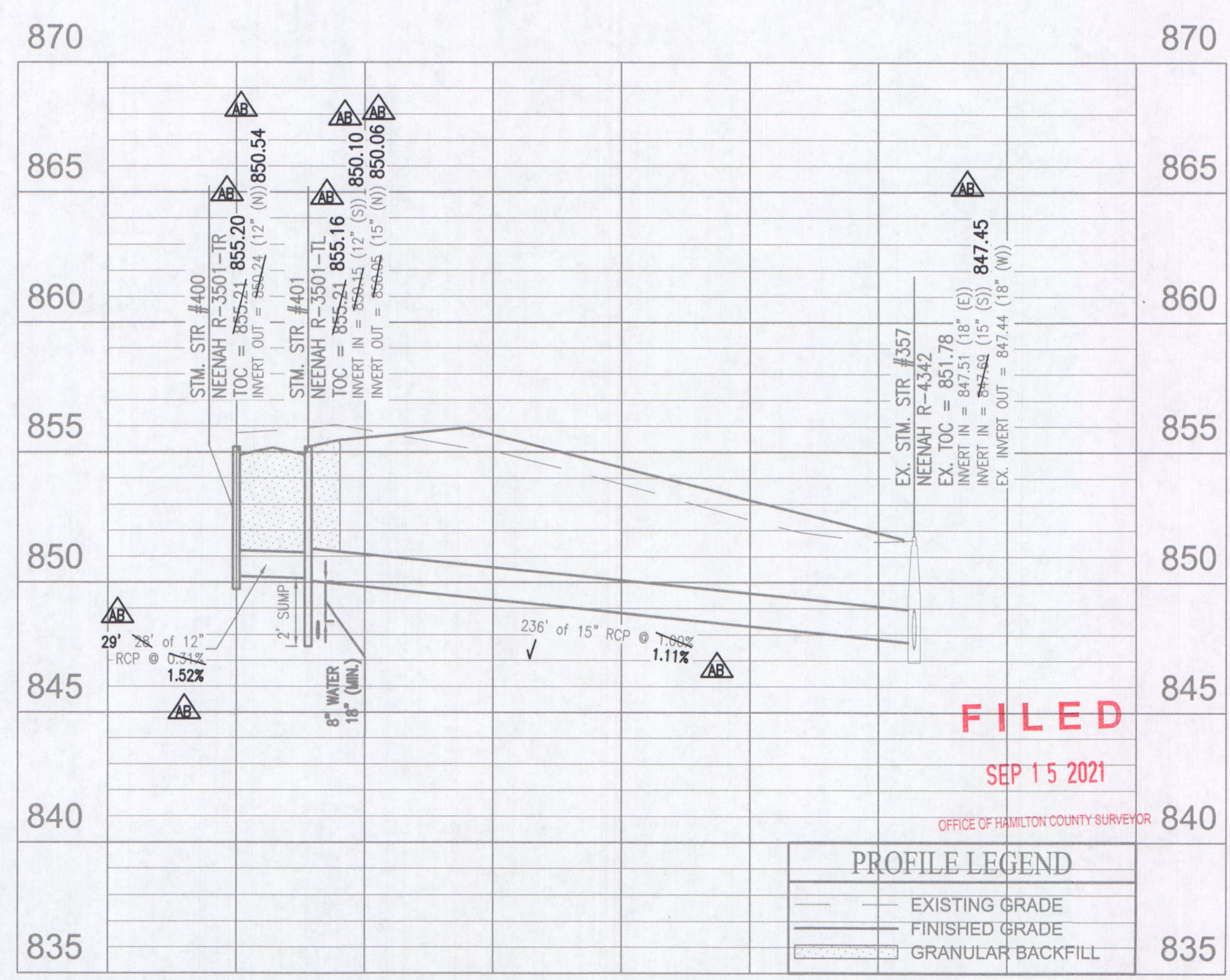
TYP. = TYPICAL
 PROP. = PROPOSED
 EX. = EXISTING
 W. = WIDTH
 M.L.A.G. = MINIMUM LOWEST ADJACENT GRADE
 ROW = RIGHT-OF-WAY
 B.B. = BACK OF CURB

860.4 = PAD ELEV

B.S.L. = BUILDING SETBACK LINE
 HP = HIGH POINT
 INV. = INVERT
 R.C.P. = REINFORCED CONCRETE PIPE
 M.H. = MANHOLE
 STR. = STRUCTURE
 D.&U.E. = DRAINAGE EASEMENT
 D.U.&S.E. = DRAINAGE UTILITY AND SANITARY SEWER EASEMENT
 ME = MATCH EXISTING



PROFILE LEGEND
 - - - EXISTING GRADE
 ——— FINISHED GRADE
 ▨ ▨ ▨ GRANULAR BACKFILL



PROFILE LEGEND
 - - - EXISTING GRADE
 ——— FINISHED GRADE
 ▨ ▨ ▨ GRANULAR BACKFILL

FILED
 SEP 15 2021
 OFFICE OF HAMILTON COUNTY SURVEYOR

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 846 - 6611
 800 452 - 6408
 317 843 - 0546 /fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.:	W150063-2
DWG. NAME:	STORM SEWER AS-BUILTS
DESIGNED BY:	BRADY KUHN
DRAWN BY:	BRADY KUHN
CHECKED BY:	BRADY KUHN
DATE:	02/27/2020

REVISIONS AND ISSUES
 REVISIONS PER USE & INC COMMENTS
 1
 REVISION: LOT LINE BETWEEN LOTS 128-129 PER CLIENT
 REVISION: PER S&C COMMENTS
 REVISION: PER S&C COMMENTS
 REVISION: ASBUILTS

DUANE A. SHARRER
 REGISTERED PROFESSIONAL ENGINEER
 No. 890258
 STATE OF INDIANA
 DUANE A. SHARRER P.E. 890258

PREPARED FOR:
THE BLUFFS AT FLAT FORK SECTION TWO
 NORTH CONNECTICUT DEVELOPMENT CORP.
 STORM SEWER PLAN AND PROFILE
 Part of the 371/2 of Section 5, Township 17 North, Range 6 East, Twp. Over, Township, Hamilton County, Indiana.

SHEET NO.
C600
 PROJECT NO.
 W150063-2

LOCATION: K:\2015\W150063\Section 2\Engineering\Design\Subarea VAB_Consult\0200_Storm_Pdf.dwg
 DATE/TIME: February 01, 2021 10:41 am
 PLOTTED BY: bennedy

STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
EX. 357	MANHOLE	851.78	NEENAH R-4342	INV IN = 847.51(E) INV IN = 847.69(S) INV OUT = 847.44(W)
400	DOUBLE CURB INLET	855.21	NEENAH R-3501-TR	INV OUT = 850.24(N)
401	DOUBLE CURB INLET	855.21	NEENAH R-3501-TL	INV IN = 850.15(S) INV OUT = 850.05(N)
402	INLET TYPE A	855.07	NEENAH R-3501-TR	INV OUT = 851.07(SE)
403	INLET TYPE A	855.19	NEENAH R-3501-TR	INV IN = 850.98(NW) INV OUT = 850.88(SE)
404	INLET TYPE A	854.98	NEENAH R-3501-TR	INV IN = 850.30(SW) INV OUT = 850.20(N)
405	INLET TYPE A	854.98	NEENAH R-3501-TR	INV IN = 850.00(S) INV OUT = 849.90(N)
407	MANHOLE	853.20	NEENAH R-4342	INV IN = 847.74(S) INV OUT = 847.64(NE)
408	END SECTION	848/85	N/A	INV IN = 847.50(SW)
409	DOUBLE CURB INLET	853.11	NEENAH R-3501-TR	INV OUT = 849.11(E)
410	DOUBLE CURB INLET	853.11	NEENAH R-3501-TL	INV IN = 848.91(W) INV OUT = 848.81(E)
412	END SECTION	848/82	N/A	INV IN = 847.50(W)

DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
400	401	12"	RCP	28'	0.31%
401	357	15"	RCP	236'	1.00%
402	403	12"	RCP	28'	0.32%
403	406	12"	RCP	118'	0.32%
404	405	12"	RCP	28'	0.71%
405	407	12"	RCP	172'	1.26%
407	408	15"	RCP	33'	0.42%
408	410	12"	RCP	28'	0.71%
410	412	15"	RCP	195'	0.67%

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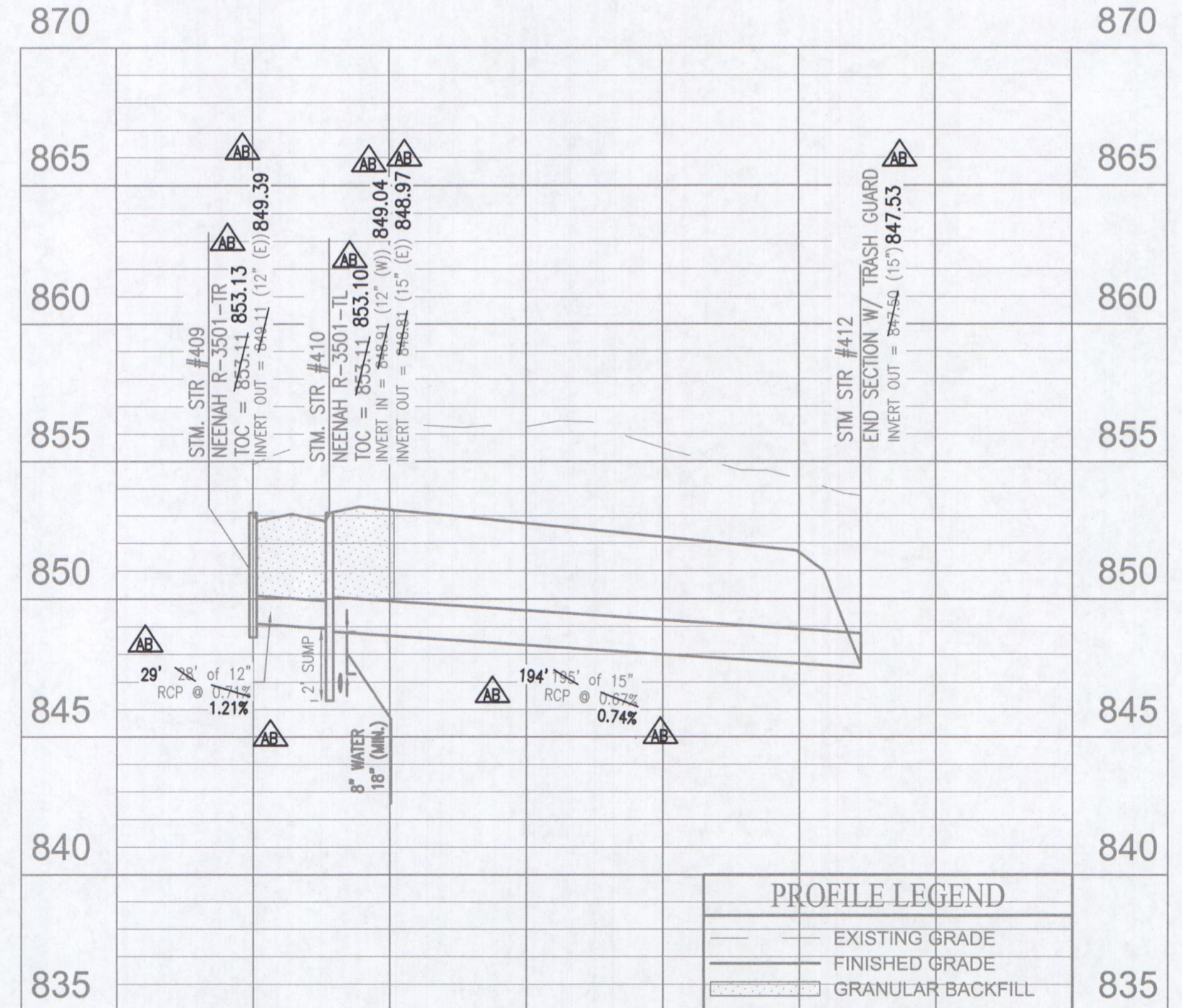
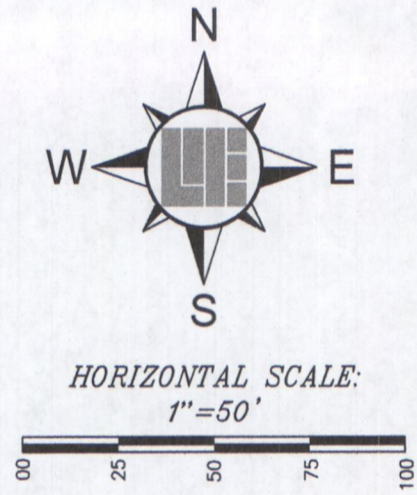
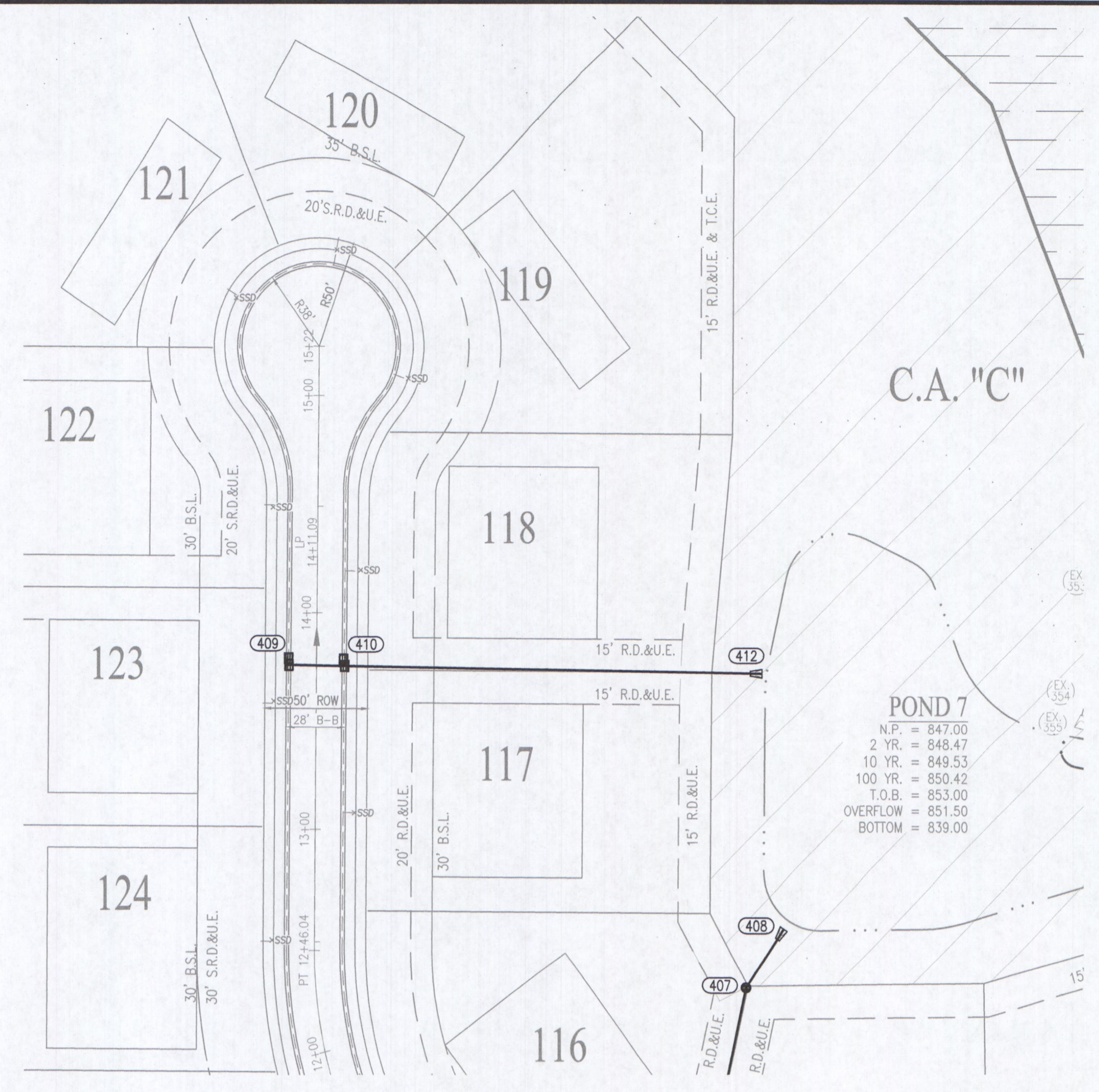
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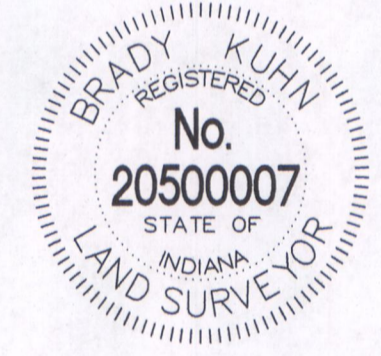
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- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
- CONTRACTOR TO INSTALL CONCRETE CRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE C900 WATER MAIN GRADE PVC.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H20 LOADING.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT IN TO INVERT OUT.
- NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
- IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
- ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL, IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
- PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #8 AGGREGATE COMPACTED IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY.
- VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.



RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
1/28/2021

BRADY KUHN, L.S. 20500007



- AS-BUILT INFORMATION
- BUILT AS PLANNED

DATE OF LAST FIELDWORK: 1/20/2021

LEGEND

- = RIGHT-OF-WAY LINE
- = PROPOSED STORM SEWER LINE
- = EXISTING STORM SEWER LINE
- = SWALE
- = SIDEWALK
- = RIGHT-OF-WAY
- = BACK OF CURB
- = PROPOSED SANITARY SEWER LINE
- = EXISTING SANITARY SEWER LINE
- = SANITARY SEWER MANHOLE
- = SANITARY SEWER LATERAL
- = PROPOSED WATER LINE
- = FLOW DIRECTION
- = EXISTING CONTOURS
- = PROPOSED ELEVATION
- = STORM BEEHIVE INLET
- = STORM INLET
- = TOP OF CASTING
- = INVERT
- = REINFORCED CONCRETE PIPE
- = MANHOLE
- = STRUCTURE
- = DRAINAGE EASEMENT
- = DRAINAGE AND UTILITY EASEMENT
- = DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
- = CONCRETE END SECTION
- = MATCH EXISTING
- = TYP. PROP.
- = EX.
- = R.
- = V.W.
- = MIN. LOWEST ADJACENT GRADE
- = R.O.W.
- = B.C.
- = PAD ELEV.
- = EMERGENCY FLOOD ROUTE
- = B.S.L.
- = HP.
- = ADA RAMP
- = FIRE HYDRANT
- = PROPOSED ASPHALT PATH

PROFILE LEGEND

- = EXISTING GRADE
- = FINISHED GRADE
- = GRANULAR BACKFILL

FILED
SEP 15 2021

OFFICE OF HAMILTON COUNTY SURVEYOR



Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week
PER INDIANA STATE LAW IC 8-1-26
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:
THE BLUFFS AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
STORM SEWER PLAN AND PROFILE

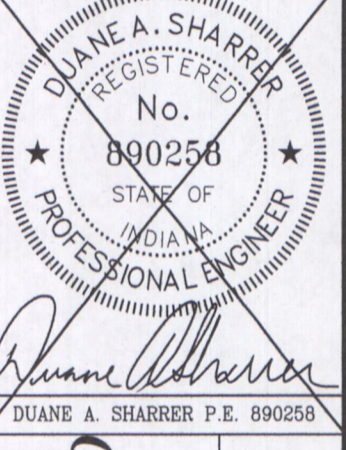
SHEET NO.
C601
PROJECT NO.
W150063-2

10505 N. College Avenue
Indianapolis, Indiana 46280
weiche.net
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800 452 - 6408
317 843 - 0546 fax
ALLAN H. WEICHE, P.E., L.S. - FOUNDER

WEICHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	DATE:
W150063-2	02/27/2020
DWG NAME:	BY:
DISSEMINATED BY:	CHK:
DRAWN BY:	APP:
CHECKED BY:	DATE:
DATE:	DATE:

REVISIONS AND ISSUES	DATE	BY
REVISIONS PER A/E & A/C COMMENTS	06/09/2020	MEH
REVISED LOT LINE BETWEEN LOTS 128-129 PER CLIENT	08/04/2020	MEH
REVISED PER S/M/C COMMENTS	09/18/2020	MEH
REVISED PER S/M/C COMMENTS	12/15/2020	MEH



RECORD DRAWING
WATER AS-BUILTS
WATER STRUCTURES ONLY
1/28/2021

BRADY KUHN, L.S. 20500007



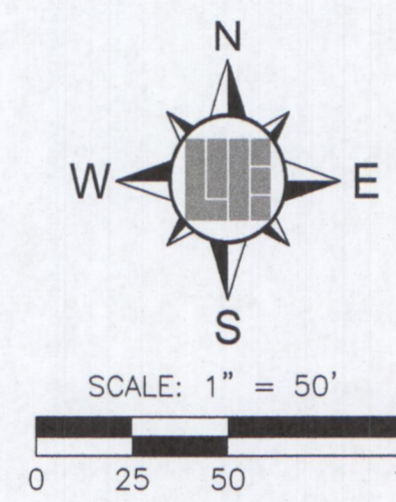
- AS-BUILT INFORMATION
 - BUILT AS PLANNED
 - AS-BUILT 11.25' BEND
 - AS-BUILT 22.5' BEND
 - AS-BUILT FIRE HYDRANT
 - AS-BUILT WATER VALVE
 - AS-BUILT BLOW OFF
- DATE OF LAST FIELDWORK: 1/20/2021

WATER MAIN NOTES:

1. ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
2. FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE DEPARTMENT).
3. IF WATER MAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
4. MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
5. NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
6. IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
7. CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
8. ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
9. ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
10. ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
11. WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
12. ALL WATER MAIN JOINTS TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
13. WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF THE HOUSE CONSTRUCTION.
14. NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
15. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.
16. INSTALLATION OF INDOT APPROVED SNOWPLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTIONS 800 & 900 OF THE MOST RECENT REVISION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL A REFLECTOR BE ATTACHED TO THE PAVEMENT SURFACE USING ONLY ADHESIVE.
17. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
18. WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.

LEGEND

- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING HYDRANT WITH HYDRANT VALVE
- HYDRANT WITH HYDRANT VALVE
- VALVE
- TEE
- CROSS
- REDUCER
- DUCTILE IRON PIPE
- 1" TYPE K COPPER OR POLY W/ DOUBLE METER PIT
- 3/4" TYPE K COPPER OR POLY W/ SINGLE METER PIT
- WATER LATERAL AS-BUILT LOCATION



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LOCATION SERVICE TWO (2) WORKING
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BENCHMARK INFORMATION

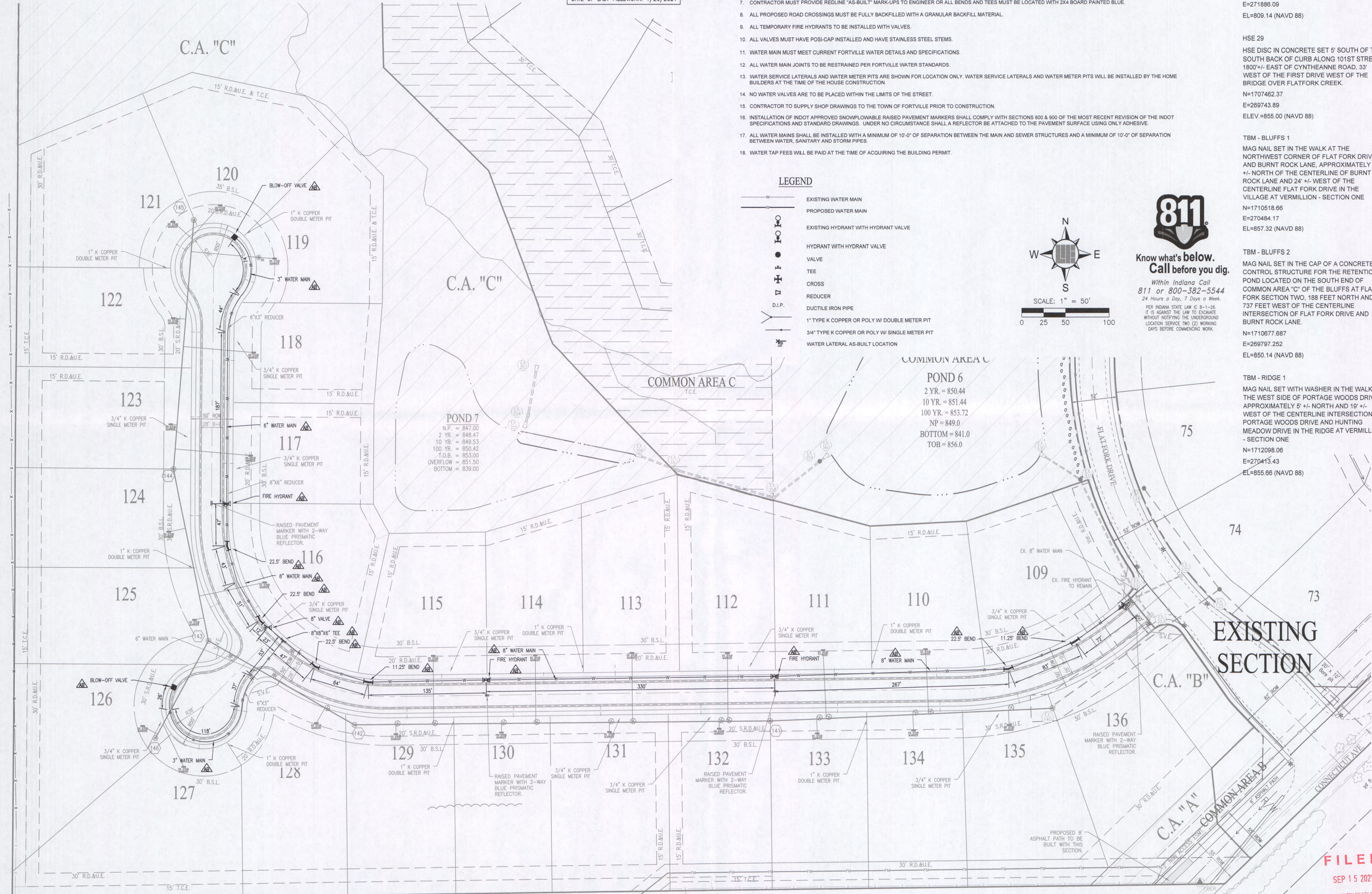
SOURCE BENCHMARK
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY
GEODETIC CONTROL" SET IN THE NORTH END
OF THE EAST CREEK HANDRAIL ON THE
BRIDGE OVER FALL CREEK ON
SOUTHEASTERN PARKWAY SOUTH OF 113TH
STREET.
N=1714311.26
E=271686.09
EL=809.14 (NAVD 88)

HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE
SOUTH BACK OF CURB ALONG 101ST STREET,
1800'+/- EAST OF CYNTHIANNE ROAD, 33'
WEST OF THE FIRST DRIVE WEST OF THE
BRIDGE OVER FLATFORK CREEK.
N=1707462.37
E=269743.89
ELEV=855.00 (NAVD 88)

TBM - BLUFFS 1
MAG NAIL SET IN THE WALK AT THE
NORTHWEST CORNER OF FLAT FORK DRIVE
AND BURNT ROCK LANE, APPROXIMATELY 54'
+/- NORTH OF THE CENTERLINE OF BURNT
ROCK LANE AND 24' +/- WEST OF THE
CENTERLINE FLAT FORK DRIVE IN THE
VILLAGE AT VERMILLION - SECTION ONE
N=1710518.66
E=270484.17
EL=857.32 (NAVD 88)

TBM - BLUFFS 2
MAG NAIL SET IN THE CAP OF A CONCRETE
CONTROL STRUCTURE FOR THE RETENTION
POND LOCATED ON THE SOUTH END OF
COMMON AREA "C" OF THE BLUFFS AT FLAT
FORK SECTION TWO, 188 FEET NORTH AND
737 FEET WEST OF THE CENTERLINE
INTERSECTION OF FLAT FORK DRIVE AND
BURNT ROCK LANE.
N=1710677.687
E=269797.252
EL=850.14 (NAVD 88)

TBM - RIDGE 1
MAG NAIL SET WITH WASHER IN THE WALK ON
THE WEST SIDE OF PORTAGE WOODS DRIVE,
APPROXIMATELY 5' +/- NORTH AND 19' +/-
WEST OF THE CENTERLINE INTERSECTION OF
PORTAGE WOODS DRIVE AND HUNTING
MEADOW DRIVE IN THE RIDGE AT VERMILLION
- SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)



WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

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Indianapolis, Indiana 46280
www.weihe.net
317.846.6611
800.452.6408
317.843.0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PROJECT NO.:	W150063-2
DATE:	02/27/2020
BY:	JK
CHECKED BY:	JEP
DATE:	02/27/2020

DUANE A. SHARRER
REGISTERED PROFESSIONAL ENGINEER
No. 890256
STATE OF INDIANA

THE BLUFFS AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
WATER MAIN PLAN
Part of the S1/2 of Section 6, Township 6 S., Range 6 East, Field Creek Township, Hamilton County, Indiana

FILED
SEP 15 2021
OFFICE OF HAMILTON COUNTY SURVEYOR

SHEET NO. **C700**
PROJECT NO. **W150063-2**

LOCATION: H:\2015\W150063\Section 2\Engineering\As-Built\Submittal\AS-Built\Water Main.dwg
DATE/TIME: February 01, 2021 - 10:41am
PLOTTED BY: lammy